

Committee Date	17.08.2023	
Address	Land At Grangewood Lane Beckenham	
Application Number	23/01225/FULL1	Officer - Russell Penn
Ward	Beckenham Town And Copers Cope	
Proposal	Construction of a detached single storey 2 bedroom dwellinghouse with associated car parking, landscaping and refuse storage.	
Applicant	Agent	
Mr Paul Baker		
8 Hofland Road London W14 0LN United Kingdom		
Reason for referral to committee	Call-In Oppressive, overbearing, intrusive impact on neighbouring houses - green roof planting and maintenance impact on neighbouring houses - design not in keeping with local area - overlapping the curtilage of 2 Grangewood Lane - prevent access of emergency services - parking and vehicular access concerns.	Councillor call in Cllr Chloe-Jane Ross

RECOMMENDATION	Application Permitted
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<p>KEY DESIGNATIONS</p> <p>Article 4 Direction Biggin Hill Safeguarding Area London City Airport Safeguarding Smoke Control SCA 12</p>

Land use Details		
	Use Class or Use description	Floor space (GIA SQM)
Existing	Vacant Land	0
Proposed	Use Class C3 – Residential	77sqm

Residential Use – See Affordable housing section for full breakdown including habitable rooms					
	Number of bedrooms per unit				
	1	2	3	4 Plus	Total / Payment in lieu
Market		1			1
Total		1			1

Vehicle parking	Existing number of spaces	Total proposed including spaces retained	Difference in spaces (+ or -)
Standard car spaces	1	1	0
Disabled car spaces	0	0	0
Cycle	0	2	2

Electric car charging points	1 passive charging point
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Representation summary	Neighbour letters were sent out on 05/04/2023 and 22/05/2023. An Article 13 site notice was displayed on the site on 06/04/2023
Total number of responses	15
Number in support	0
Number of objections	15

1 SUMMARY OF KEY REASONS FOR RECOMMENDATION

- The site optimisation of the proposed scheme is acceptable and will widen the mix of houses available and contribute towards meeting the needs for new houses.
- The development would not be detrimental to the character and appearance of the area.
- The proposed development would have a high quality design and would not have an unacceptable impact on the amenity of neighbouring occupiers.
- The standard of the accommodation that will be created will be good.
- The proposal would not have an adverse impact on the local road network or local parking conditions.
- The proposal would be constructed in a sustainable manner and would achieve good levels of energy efficiency.

2 LOCATION

- 2.1 The site is located at the western end of Grangewood Lane and comprises a vacant area of land with no current use. The site is accessed via a private unmade access road leading from Copers Cope Road
- 2.2 A relatively recent development for 8 houses is located to the south of the site, two of which have their back gardens abutting the application site. A small section to the front of the site also adjoins the boundary with No2 Grangewood Lane. To the north flank are the back gardens to No's 13 to 17 Century Way with rear elevations facing south to the site at between 7m to 9m distance. A private pedestrian accessway leading from Century Way separates the site to the rear garden of No's 15 to 17 with No's 13 and 14 adjoining the site. The west of the site is bounded by land owned by Railtrack, there being a narrow margin of open land (approx. 2.8m) adjacent to the platform of New Beckenham Railway Station. A number of trees are situated to the north boundary of the lane in front of the site.
- 2.3 The site is not located within a conservation area.



Location Plan

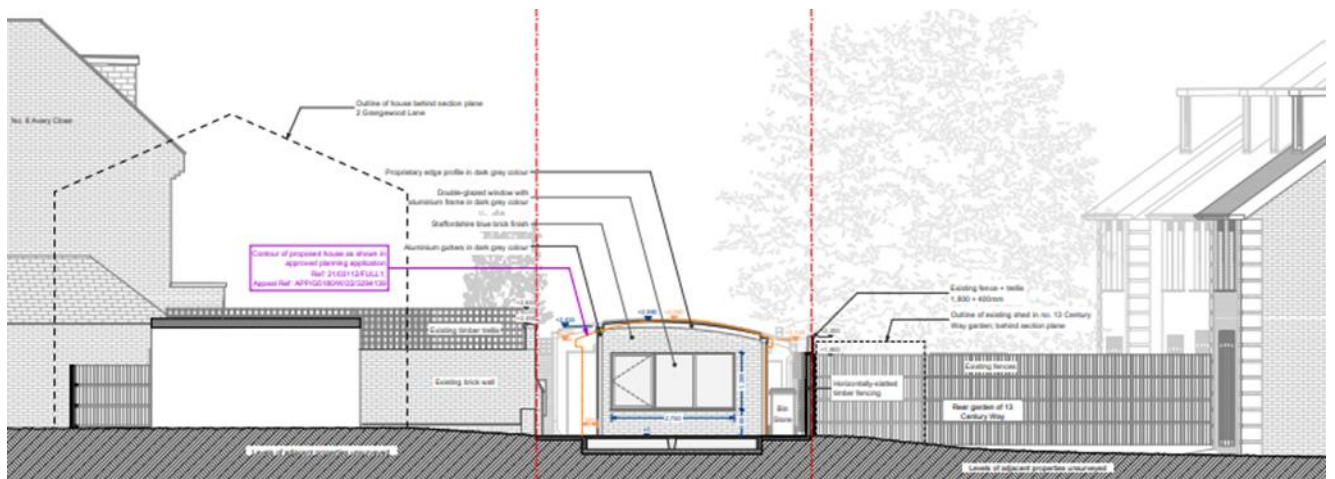
3 PROPOSAL

- 3.1 Planning permission is sought for the construction of a detached single storey 2 bedroom dwellinghouse with associated car parking, landscaping and refuse storage.
- 3.2 The dwelling will comprise an irregular but largely rectangular footprint built adjacent to the north boundary and in close proximity to the south flank boundary. A small amenity area is indicated to the rear boundary with the railway line. The design incorporates a lowered internal floor level with an entrance door accessed from a ramped path along the south side of the house. The roof of the house is designed as a single curved linear element along the building's entire length with a sedum blanket green roof installation. The roof eaves are set with gutter levels between 1.8m – 2.2m height relative to levels along the sloping garden access path on the north boundary. The eaves levels on the south side of the building will be similar to those on the north. A parking space with a vehicle turntable and landscaping is provided to the front.
- 3.3 The design is contemporary and the exterior materials finish will use Staffordshire blue brick slip tiling with a dark grey mortar pointing on an external insulation system to all elevations. Window and door openings will be in dark grey aluminium double glazing with matching roof trims and rainwater goods.
- 3.4 The reader is advised that the application is resubmission of a previously consented scheme under reference 21/03112/FULL1. In summary the amendments to the Consented Scheme comprise the following:
 - Reconfiguration of the bike store from a horizontal to a vertical cupboard on the front elevation, to allow a wider main bedroom window.
 - Relocation of the refuse storage space from the previously consented location adjacent to the entrance door, integrated into the building, to a new lean-to cabin cabins located beside the bike store, facing the front amenity area.
 - Minor adjustments to the alignment of south facing walls to widen the entrance rampway, increase the distance to the boundary fence with 7/8 Avery Close and also to slightly increase space in Bedroom 2.
 - Adjustment to the front elevation position to compensate for floor area loss following south elevation wall alterations and to increase main bedroom floor area.
 - Relocation of the main entrance door from the east facing to the south facing elevation to improve the internal configuration and increase daylight to the circulation area within.
 - Minor changes to the geometry of the vaulted roof following development of the technical details and external wall adjustments; maintaining the consented ridge height and critical eaves height on the north flank facing the houses on Century Way; raising the eaves by 300mm on the slightly less critical south elevation facing the boundary with 7 & 8 Avery Close.

- Introduction of four sky lights and a row of solar pv panels on the south side of the vaulted roof.
- Relocation of the car parking turntable nearer to the front of the plot, to allow for repositioning of the front elevation and to improve aspect from the front bedroom with existing side gate access for No. 2 Grangewood Lane maintained.

Note: During the course of assessment the location of the turntable has been slightly amended to take account of neighbour representations received.

- Omitting the rebuilding of the west boundary wall adjoining railway land
- Omitting high level windows on west, south and east elevations; minor adjustments to retained glazing proportions in all locations.
- External material change on all elevations from painted render to blue/grey brick tile finish on an external insulation system





Proposed Birds Eye View

3.5 The application was supported by the following documents:

- Design and Access Statement & Sustainability Statement
- Construction and Environmental Management Plan

4 RELEVANT PLANNING HISTORY

4.1 The relevant planning history relating to the application site is summarised as follows:

4.2 14/04349/FULL1: Construction of a two storey 3 bedroom dwellinghouse with associated car parking, landscaping and refuse storage. Withdrawn 09.12.2014.

4.3 16/00740/FULL1: Construction of a two storey 3 bedroom dwellinghouse with associated car parking, landscaping and refuse storage. Refused 19.04.2016

4.4 16/04982/FULL1 Construction of a detached single storey 2 bedroom dwellinghouse with associated car parking, landscaping and refuse storage. Refused 09.01.2017

- Refusal reason stated that the proposed development by reason of its size, design, location and the severely restricted nature of the site would constitute an overdevelopment of the site and would cause significant detriment to the outlook and amenity of the adjoining neighbours.
- The application was appealed and dismissed on 09.08.2017.

4.5 21/03112/FULL1: Construction of a detached single storey 2 bedroom dwellinghouse with associated car parking, landscaping and refuse storage.

- The application was recommended for permission but refused by Members on 17.11.2021 on the grounds that it would result in material harm to the character and appearance of the area or the living conditions of the occupiers of neighbouring dwellings.
- The application was subsequently appealed and allowed on 22.11.2022. The Planning Inspector commented “In respect of this main issue, I therefore find that the proposal would not harm the character and appearance of the area.” The Planning Inspectors comments are addressed in the assessment below.

5 CONSULTATION SUMMARY

A) Statutory

Environmental Health Pollution Officer – No objection

- Standing advice received. However, comments received under ref 21/03112/FULL1 remain relevant: No objections within the grounds of consideration. Acoustic condition recommended due to proximity to the railway line. Conditions and informatives recommended re land contamination, construction management, and air quality regarding installation of ultra-low NOx boilers

Drainage Officer – No objection

- We accept the use of green roofs, soakaway, permeable paving and Aco channel to attenuate for surface water run-off. Further details of surface water drainage to be sought by condition.

Tree Officer – No objection

- No further comments received. However, comments received under ref 21/03112/FULL1 remain relevant: The site is free of tree protective legislation. Tree survey information has been supplied in support of the proposals. The trees recorded on the tree survey do not present a constraint to the proposal. There is little prospect of incorporating new tree planting in the new landscape design. In previous schemes refused, tree protection has been indicated, but I can't see that being necessary in this application. On this occasion, I make no objections and do not recommend any tree specific planning conditions.

Network Rai – No objection

- Network Rail is the statutory undertaker for maintaining and operating railway infrastructure of England, Scotland and Wales. As statutory undertaker, NR is under license from the Department for Transport (DfT) and Transport Scotland (TS) and regulated by the Office of Rail and Road (ORR) to maintain and enhance the

operational railway and its assets, ensuring the provision of a safe operational railway.

- Due to the close proximity of the proposed development to Network Rail's land and the operational railway, Network Rail requests the applicant / developer engages Network Rail's Asset Protection and Optimisation (ASPRO) team prior to works commencing. This will allow our ASPRO team to review the details of the proposal to ensure that the works can be completed without any risk to the operational railway.
- The applicant/developer may be required to enter into an Asset Protection Agreement to get the required resource and expertise on-board to enable approval of detailed works.
- To start the process with our Asset Protection team, the applicant / developer should use the Asset Protection Customer Experience (ACE) system found on Network Rail's Asset Protection website. This website also provides more information about our Asset Protection team and the services they offer.

Thames Water – No objection

- No comments to make.

B) Local Groups

No Comments.

C) Adjoining Occupiers

Character (addressed in para 7.3)

- Design not in keeping with locality.
- Land area compressed and over densified.
- Overdevelopment of the area.
- Property appears bigger than previously allowed.
- Incongruous development in conflict with the pattern and grain of the surrounding development and local character.

Neighbouring amenity (addressed in para 7.6)

- Encroachment will cause issues of privacy and noise nuisance.
- Development still has an oppressive, overbearing, intrusive impact on adjacent property.
- Turntable and siting will impede access to No2.
- Height of building is above fence line.
- Causes overshadowing of neighbour gardens.
- Bigger, more visible, more imposing and would cause loss of amenity especially in regards to 2 Grangewood Lane.
- Concerns with change in outlook and overbearing presence of building.

- Privacy concerns from new building impacting the use of adjacent back gardens.
- Overlooking and light pollution to surrounding houses.

Highways and parking (addressed in para 7.5)

- Concerns with access for emergency service vehicles to new dwelling and to adjacent dwellings.
- Only small car fits turntable.
- Will add to increasing traffic in area.
- Concerns regarding the impeded use of Grangewood Lane in terms of vehicle access and highway safety

Accommodation standards (addressed in para 7.4)

- Courtyard, bedroom, living rooms lack natural light.
- Security concerns regarding safe and secure access.
- Amenity space small and unsuitable next to a railway line.

Noise and disturbance (addressed in para 7.6)

- Concerns with extra noise and disturbance from siting a dwelling at this location.

Other comments (addressed in section 7)

- Concerns with maintenance access for green roof.
- Green roof seeds will cause weed issues.
- Housing targets are not a reason to allow this scheme.
- Trellis structure inadequate to screen new dwelling.
- Concerns with impact of the construction process on Grangewood Lane and properties adjacent to access on Century Way.
- Comments regarding the construction management plan adequacy.
- Comments regarding the Party Wall Act implications.
- Comments re site measurements accuracy by 16mm difference.
- Boundary wall should not be knocked down.
- Concerns with turntable location.
- Concerns regarding impact to neighbour trees in Avery Close.

6 POLICIES AND GUIDANCE

6.1 Section 70(2) of the Town and Country Planning Act 1990 (as amended) sets out that in considering and determining applications for planning permission the local planning authority must have regard to:-

- (a) the provisions of the development plan, so far as material to the application,
- (b) any local finance considerations, so far as material to the application, and
- (c) any other material considerations.

6.2 Section 38 (6) of the Planning and Compulsory Purchase Act (2004) makes it clear that any determination under the planning acts must be made in accordance with the development plan unless material considerations indicate otherwise.

6.3 The National Planning Policy Framework was revised and published on 20th July 2021. The development plan for Bromley comprises the London Plan (March 2021) and the Bromley Local Plan (January 2019). The NPPF does not change the legal status of the development plan.

6.4 The application falls to be determined in accordance with the following policies:-

6.5 **National Planning Policy Framework 2021**

6.6 **London Plan 2021**

- D1 London's form and characteristics
- D2 Infrastructure requirements for sustainable densities
- D3 Optimising site capacity through the design-led approach
- D4 Delivering good design
- D5 Inclusive design
- D6 Housing quality and standards
- D7 Accessible housing
- D11 Safety, security and resilience to emergency
- D12 Fire safety
- D13 Agent of change
- D14 Noise
- H1 Increasing Housing Supply
- H2 Small sites
- H5 Threshold Approach to application
- H8 Loss of existing housing and estate redevelopment
- H9 Ensuring the best use of stock
- H10 Housing Size Mix
- S4 Play and informal recreation
- G5 Urban greening
- G6 Biodiversity and access to nature
- G7 Trees and woodlands
- SI1 Improving air quality
- SI4 Managing heat risk
- SI5 Water infrastructure
- SI7 Reducing waste and supporting the circular economy
- SI12 Flood risk management
- SI13 Sustainable drainage
- T2 Healthy Streets
- T3 Transport capacity, connectivity and safeguarding
- T4 Assessing and mitigating transport impacts
- T5 Cycling
- T6 Car parking
- T6.1 Residential Parking
- T7 Deliveries, servicing and construction

6.7 Bromley Local Plan 2019

1	Housing supply
4	Housing design
8	Side Space
30	Parking
32	Road Safety
33	Access for All
34	Highway Infrastructure Provision
37	General design of development
77	Landscape Quality and Character
112	Planning for Sustainable Waste management
113	Waste Management in New Development
115	Reducing flood risk
116	Sustainable Urban Drainage Systems (SUDS)
117	Water and Wastewater Infrastructure Capacity
118	Contaminated Land
119	Noise Pollution
120	Air Quality
121	Ventilation and Odour Control
122	Light Pollution
123	Sustainable Design and Construction
124	Carbon dioxide reduction, Decentralise Energy networks and Renewable Energy

6.8 Supplementary Planning Guidance

Housing: Supplementary Planning Guidance (March 2016)
Housing Design Standards - London Plan Guidance (June 2023)
National Design Guide (September 2019)

6.9 Urban Design Guide - Supplementary Planning Document (July 2023)

DG1: Reinforcing Local Character and Identity
DG3: Continuity and Enclosure
DG5: Architectural Design
DG6: Materials and Detailing
DG7: Housing Design
DG11: Landscape Design
DG14: Inclusive Design
DG18: Healthy Homes
DG20: Sustainable Design

7 ASSESSMENT

7.1 Resubmission

7.1.1 The application is a further submission leading on from the 2021 application approved at Appeal as detailed above. The main changes are detailed above and

are assessed further below in this report. The conclusions of the Planning Inspector in relations to the 2021 application are also given significant weight.

7.2 Principle of Development – Acceptable

- Housing Supply

7.2.1 The current position in respect of Bromley's Five Year Housing Land Supply (FYHLS) was agreed at Development Control Committee on 2nd November 2021. The current position is that the FYHLS (covering the period 2021/22 to 2025/26) is 3,245 units, or 3.99 years supply. This is acknowledged as a significant undersupply and for the purposes of assessing relevant planning applications means that the presumption in favour of sustainable development will apply.

7.2.2 The NPPF (2021) sets out in paragraph 11 a presumption in favour of sustainable development. In terms of decision-making, the document states that where a development accords with an up to date local plan, applications should be approved without delay. Where a plan is out of date, permission should be granted unless the application of policies in the Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in the Framework taken as a whole.

7.2.3 According to paragraph 11(d) of the NPPF in the absence of a 5 year Housing Land Supply the Council should regard the Development Plan Policies for the supply of housing including Policy 1 Housing Supply of the Bromley Local Plan as being 'out of date'. In accordance with paragraph 11(d), for decision taking this means where there are no relevant development plan policies or the policies which are most important for determining the application are out-of-date, granting permission unless:

i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or

ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

7.2.4 London Plan Policy H1 sets Bromley's housing target at 774 homes per annum. In order to deliver this target, boroughs are encouraged to optimise the potential for housing delivery on all suitable and available brownfield sites. This approach is consistent with Policy 1 of the Bromley Local Plan, particularly with regard to the types of locations where new housing delivery should be focused.

7.2.5 Policy H2 requires Boroughs to pro-actively support well-designed new homes on small sites (below 0.25 hectares in size). Policy D3 requires all development to make the best use of land by following a design led approach.

7.2.6 This application includes the provision of one residential dwelling and would represent a minor contribution to the supply of housing within the Borough. This will be considered in the overall planning balance set out in the conclusion of this report, having regard to the presumption in favour of sustainable development.

- Optimising Sites:

7.2.7 Policy H1 Increasing Housing Supply of the London Plan states that to ensure housing targets are achieved boroughs should optimise the potential for housing delivery on all suitable and available brownfield sites through their Development Plans and planning decisions. Policy 1 of the Local Plan and Policy H1 of the London Plan set the context in the use of sustainable brownfield sites for new housing delivery.

7.2.8 Policy H2 Small Sites of the London Plan states that Boroughs should pro-actively support well-designed new homes on small sites (below 0.25 hectares in size) through both planning decisions and plan-making in order to significantly increase the contribution of small sites to meeting London's housing needs.

7.2.9 The London Plan does not include a prescriptive density matrix and promotes a design-led approach in Policy D3 to optimise the capacity of sites. The design-led approach requires consideration of design options to determine the most appropriate form of development that responds to a site's context and capacity for growth, and existing and planned supporting infrastructure capacity. Policies D2 and D4 are also relevant to any assessment of development proposals, including whether the necessary infrastructure is in place to accommodate development at the density proposed.

7.2.10 Local Plan Policies 4 and 37 accord with paragraph 130 of the National Planning Policy Framework, which requires development to be sympathetic to local character whilst optimising the potential of sites.

7.2.11 In this case the site is considered to be infill development as opposed to backland development as the site directly adjoins the private access road, although historically the site may have been garden land, the character of the site through the passage of time is now different. Therefore, as the site is located in a residential location in a residential area, the Council will consider infill development provided that it is designed to complement the character of surrounding developments, the design and layout make suitable residential accommodation, and it provides for garden and amenity space. Any adverse impact on neighbouring amenity, conservation and historic issues, biodiversity or open space will need to be addressed. Therefore, the provision of an additional dwelling unit on the land appears acceptable in principle subject to an assessment of the impact of the proposal on the appearance/character of the surrounding area, the residential amenity of adjoining and future residential occupiers of the scheme, car parking and traffic implications, sustainable design and energy, community safety and refuse arrangements.

7.3 Design – Acceptable

- 7.3.1 Design is a key consideration in the planning process. Good design is an important aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.
- 7.3.2 Paragraph 126 of the NPPF (2021) states that beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.
- 7.3.3 Paragraph 130 of the NPPF (2021) requires Local Planning Authorities to ensure that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are visually attractive as a result of good architecture, layout and appropriate and effective landscaping and are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities). New development shall also establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit; optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.
- 7.3.4 London Plan and Bromley Local Plan policies further reinforce the principles of the NPPF setting out a clear rationale for high quality design.
- 7.3.5 Policy D3 of the London Plan relates to 'Optimising site capacity through the design-led approach' and states that all development must make the best use of land by following a design-led approach that optimises the capacity of sites. Form and layout should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape. The quality and character shall respond to the existing character of a place by identifying the special and valued features and characteristics that are unique to the locality and respect, enhance and utilise the heritage assets and architectural features that contribute towards the local character.
- 7.3.6 Policy D4 of the London Plan outlines the various methods of scrutiny that assessments of design should be based on depending on the level/amount of the development proposed for a site.
- 7.3.7 Policy D5 of the London Plan relates to 'Inclusive Design' and states that development proposal should achieve the highest standards of accessible and inclusive design.

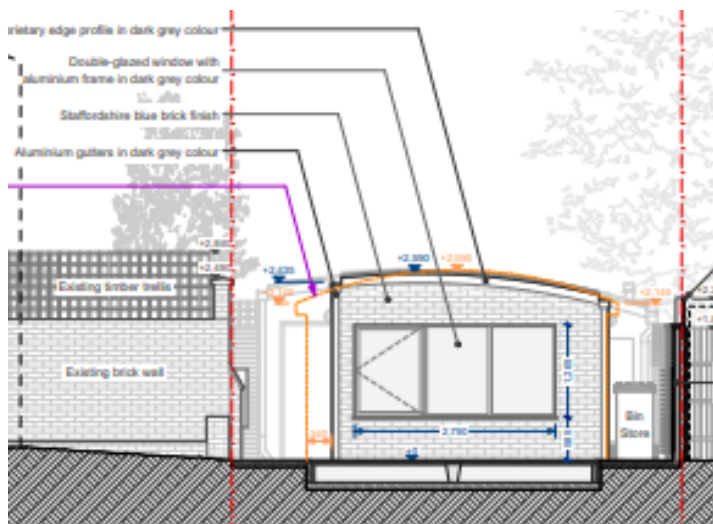
- 7.3.8 Policy H2 of the London Plan states that Boroughs should also recognise in their Development Plans that local character evolves over time and will need to change in appropriate locations to accommodate additional housing on small sites.
- 7.3.9 Policy 4 of the Local Plan details that all new housing developments will need to achieve a high standard of design and layout whilst enhancing the quality of local places respecting local character, spatial standards, physical context and density. To summarise the Council will expect all of the following requirements to be demonstrated: The site layout, buildings and space around buildings be designed to a high quality, recognising as well as complimenting the qualities of the surrounding areas; compliance to minimum internal space standards for dwellings; provision of sufficient external, private amenity space; provision of play space, provision of parking integrated within the overall design of the development; density that has regard to the London Plan density matrix whilst respecting local character; layout giving priority to pedestrians and cyclists over vehicles; safety and security measures included in the design and layout of buildings; be accessible and adaptable dwellings.
- 7.3.10 Policy 37 of the Local Plan details that all development proposals, including extensions to existing buildings, will be expected to be of a high standard of design and layout. To summarise developments will be expected to meet all of the following criteria where they are relevant; be imaginative and attractive to look at, of a good architectural quality and should complement the scale, proportion, form, layout and materials of adjacent buildings and areas; positively contribute to the existing street scene and/or landscape and respect important views, heritage assets, skylines, landmarks or landscape features; create attractive settings; allow for adequate daylight and sunlight to penetrate in and between buildings; respect the amenity of occupiers of neighbouring buildings and those of future occupants; be of a sustainable design and construction; accessible to all; secure; include; suitable waste and refuse facilities and respect non designated heritage assets.
- 7.3.11 The Councils Urban Design Guide identifies six overarching principles (performance indicators) that are considered essential components in delivering good quality design, and which are widely documented as being among the key characteristics of successful well designed places. These are: Contextual (Character and Identity); Responsive (Architecture and Landscape); Connected (Movement and Connectivity); Inclusive (Access and Inclusion); Healthy (Health and Well-being); and Sustainable (Sustainable Design, Adaptability and Resilience). In addition to the six overarching design principles development proposals are assessed against three broad design considerations; connection (in relation to form and layout), contribution (in relation to visual and functional quality), and clarity (in relation to the quality of user experience).
- 7.3.12 In this case, the site is prominently situated at the end of Grangewood Lane. There is no evidence of building foundations on the site to suggest there have been any previous developments and it is assumed that the plot was once residential garden associated with Grangewood, Copers Cope Road. No's 1, 2 and Southcroft all represent historical infill properties to the rear of No89, resulting in the formation of the private access road leading to the site at the same width as the access road itself. As a result, the site is relatively narrow and elongated. North of the site are

the properties of Century Way which are in relatively close proximity of the site with garden depths ranging to approximately 7m to 9m. To the south are No's 7 and 8 Avery Close with rear garden boundaries adjoining the other flank site boundaries at a similar proximity. Consequently, the development potential of the site is therefore substantially constrained in terms of its potential in terms of footprint, height and scale.

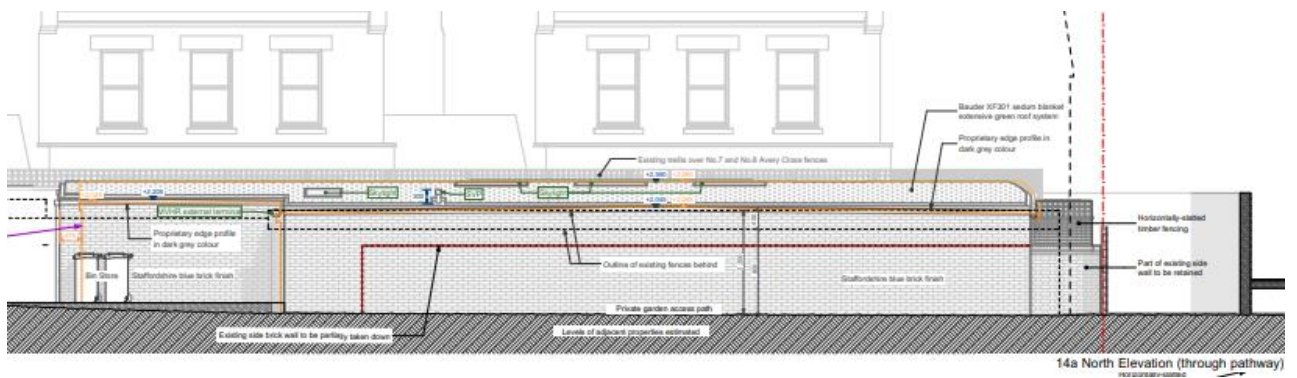
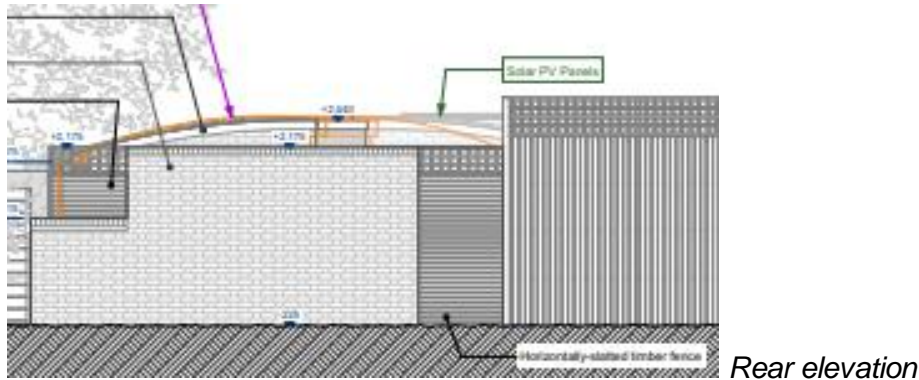
7.3.13 In terms of the design-led approach it is acknowledged that an innovative design approach is required on this site which responds to the particular characteristics of the site, its surroundings and the needs of existing and future residents.

7.3.14 It is also of importance to note that in the 2021 Appeal the Planning Inspector commented “The planning site history indicates the proposed development has been refined through various design iterations. In its current form, its design represents a unique and considered response to the considerable site constraints. While it would fill the width of the site, the proposal would retain space to the front and rear, commensurate to the scale of the development and its urban setting. The proposed dwelling’s muted finish and its modest frontage, massing, roof form, and overall height would appear subservient to its surrounding context. It would not appear unduly obtrusive in its setting but, instead, would form an imaginative and respectful addition to the character and appearance of the area.”

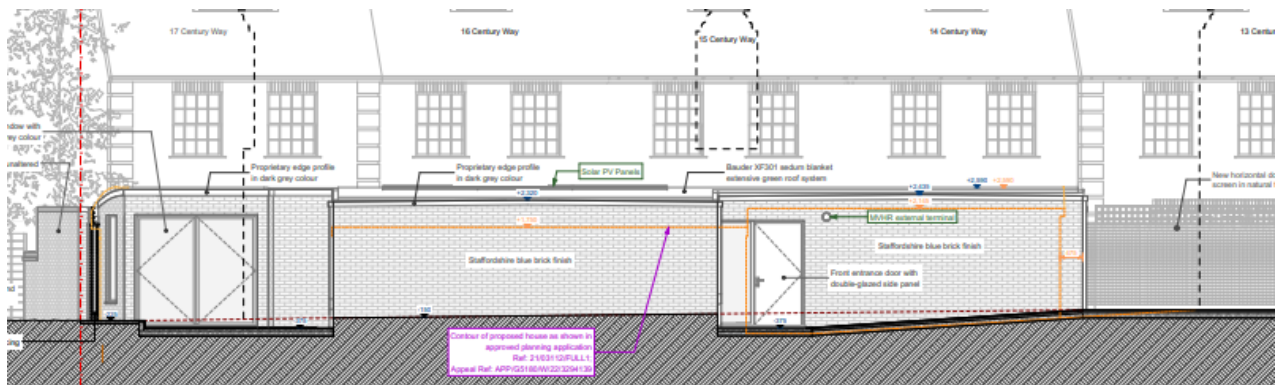
7.3.15 Taking into account the conclusions of the Planning Inspector as detailed above, the variations as listed and proposed to the building would appear minimal in context. On balance, it is considered that the revised design, scale and height of the development and proximity to the boundaries will remain to be at a scale and design that is not sufficiently overbearing to neighbouring property or out of context with its setting at this location to warrant withholding planning permission on this basis.



Front elevation



North elevation through pathway.



South elevation

7.4 Standard of residential accommodation – Acceptable

7.4.1 In March 2015 the Government published The National Technical Housing Standards. This document prescribes internal space within new dwellings and is suitable for application across all tenures. It sets out requirements for the Gross Internal (floor) Area of new dwellings at a defined level of occupancy as well as floor areas and dimensions for key parts of the home, notably bedrooms, storage and floor to ceiling height. The Gross Internal Areas in this standard will not be adequate for wheelchair housing (Category 3 homes in Part M of the Building

Regulations) where additional internal area is required to accommodate increased circulation and functionality to meet the needs of wheelchair households.

- 7.4.2 Policy D6 of the London Plan relates to 'Housing quality and standards' states that housing development should be of high quality design and provide adequately sized rooms with comfortable and functional layouts which are fit for purpose and meet the needs of Londoners. The policy also prescribes internal space within new dwellings and external spaces standards that are in line with the National Technical Housing Standards.
- 7.4.3 Furthermore, The Housing Design Standards - London Plan Guidance (June 2023) is a list of housing standards that are applicable to all self-contained residential applications (Use Class C3).
- 7.4.4 Policy D7 of the London Plan - Accessible Housing, states that to provide suitable housing and genuine choice for London's diverse population, including disabled people, older people and families with young children, residential development must ensure that at least 10 per cent of dwellings (which are created via works to which Part M volume 1 of the Building Regulations applies) meet Building Regulation requirement M4(3) 'wheelchair user dwellings' and; all other dwellings (which are created via works to which Part M volume 1 of the Building Regulations applies) meet Building Regulation requirement M4(2) 'accessible and adaptable dwellings'.
- 7.4.5 Part M compliance has been stated within the submitted Design and Access Statement. A compliance condition is recommended with any permission in this regard.
- 7.4.6 Policy 4 of the Local Plan sets out the requirements for new residential development to ensure a good standard of amenity for future occupiers. The Mayor's Housing SPG sets out guidance in respect of the standard required for all new residential accommodation to supplement London Plan policies. The standards apply to new build, conversion and change of use proposals. Part 2 of the Housing SPG deals with the quality of residential accommodation setting out standards for dwelling size, room layouts and circulation space, storage facilities, floor to ceiling heights, outlook, daylight and sunlight, external amenity space (including refuse and cycle storage facilities) as well as core and access arrangements to reflect the Governments National Technical Housing Standards.
- 7.4.7 Policy D6 of the London Plan and the nationally described space standard requires a Gross Internal Area of 70m² for a two bedroom four person dwelling house on a single level. The floor space size of the house is indicated as 77m². On this basis the floorspace provision is considered acceptable.
- 7.4.8 The shape, room size and layout of the rooms in the proposed building is considered satisfactory. None of the rooms would have a particularly convoluted layout which would limit their use. In terms of amenity space, a small rear courtyard area is provided with an area of 18m² which is considered suitable for the unit occupancy level. The front door to the proposed dwelling is located down a short

7.5.5 On balance the car parking as laid out would not give rise to parking congestion and hazardous vehicle movements at and within the vicinity of the site that may have otherwise been detrimental to the safety of pedestrians, the safe and free flow of traffic on Grangewood Lane.

- Cycle parking

7.5.6 Cycle parking is required to be 2 spaces for a new dwelling. Two spaces are indicated located externally in a dedicated containment unit to the frontage area. Further details of the containment structure are recommended to be sought by planning condition.

- Refuse storage

7.5.7 All new developments shall have adequate facilities for refuse and recycling. Refuse storage is indicated on the external north flank of the front bedroom close to the front parking area. It is assumed a future occupier will place the receptacles at a suitable collection point on collection days. Given the single unit nature of the application it is not deemed necessary that this process should be the subject of a planning condition. However, it is recommended that visual screening of the external bin store area is required which can be sought by planning condition.

- Fire safety

7.5.8 Policy D12 of the Draft London Plan states that in the interests of fire safety and to ensure the safety of all building users, all development proposals must achieve the highest standards of fire safety and ensure that they identify suitably positioned unobstructed outside space for fire appliances to be positioned on; appropriate for use as an evacuation assembly and are designed to incorporate appropriate features which reduce the risk to life and the risk of serious injury in the event of a fire including appropriate fire alarm systems and passive and active fire safety measures; are constructed in an appropriate way to minimise the risk of fire spread; provide suitable and convenient means of escape, and associated evacuation strategy for all building users; develop a robust strategy for evacuation which can be periodically updated and published, and which all building users can have confidence in; provide suitable access and equipment for firefighting which is appropriate for the size and use of the development.

7.5.9 It is noted that some concerns have been raised in this regard from representations received. For developments of this type with a single unit of occupancy the matter of fire safety compliance is covered by Approved Document B of the Building Regulations. The developer has taken account of this in their design as documented in the submitted Fire Safety Report.

7.6 Neighbouring Amenity – Acceptable

7.6.1 Policy 37 of the Bromley Local Plan seeks to respect the amenity of occupiers of neighbouring buildings and those of future occupants, providing healthy environments and ensuring they are not harmed by noise and disturbance, inadequate daylight, sunlight, privacy or by overshadowing.

- 7.6.2 Policy 4 of the Bromley Local Plan also seeks to protect existing residential occupiers from inappropriate development. Issues to consider are the impact of a development proposal upon neighbouring properties by way of overshadowing, loss of light, overbearing impact, overlooking, loss of privacy and general noise and disturbance.
- 7.6.3 In terms of outlook, the fenestration arrangement will provide front outlook and limited courtyard outlook for the habitable rooms. No outlook is provided to the flanks north and south to the adjoining property boundaries.
- 7.6.4 It is noted that concerns have been raised in the locality regarding the impact of the structure in terms of the dwelling being overbearing, a sense of enclosure being caused and a loss of outlook to properties on Century Way. Officers consider that these objections have been largely mitigated by the single storey massing of the proposed structure.
- 7.6.5 It is also noted that the Planning Inspector previously commented that, "Despite its proximity, the proposal would therefore not appear oppressive, overbearing or result in an undue sense of enclosure. As such, I find it would not unacceptably harm the outlook from these neighbouring properties." "Due to the proposal's modest height however, I do not consider it would result in any considerable adverse sense of overbearing or enclosure for neighbouring occupiers"
- 7.6.6 Given the limited changes to the now revised scheme as detailed above, on balance and taking into account the limited depths of the rear gardens, the structure at the revised boundary heights now proposed is not considered to limit daylight and outlook or create a sense of enclosure to an extent that will warrant withholding planning permission on this basis.
- 7.6.7 Consideration is also made in respect of the level of occupation of the site in that noise and disturbance will increase from a previously unoccupied open site. On balance there will be an increased impact of this nature, however, in an urban environment the increase in terms of potential occupier noise is not considered unduly unacceptable at this location.

7.7 Sustainability – Acceptable

- 7.7.1 The NPPF requires Local Planning Authorities to adopt proactive strategies to mitigate and adapt to climate change. London Plan and Local Plan Policies advocate the need for sustainable development. All new development should address climate change and reduce carbon emissions.
- 7.7.2 Paragraph 9.2.3 of the London Plan states that Boroughs should ensure that all developments maximise opportunities for on-site electricity and heat production from solar technologies (photovoltaic and thermal) and use innovative building materials and smart technologies. This approach will reduce carbon emissions, reduce energy costs to occupants, improve London's energy resilience and support the growth of green jobs.

7.7.3 Local Plan Policy 123 states that all applications for development should demonstrate how the principles of sustainable design and construction have been taken into account.

7.7.4 A green roof is included over the curved flat roof of the building which is welcomed. A compliance condition is recommended in this regard.

7.7.5 An informative is recommended with any approval to ensure that the development strives to achieve these objectives.

7.8 Sustainable Drainage – Acceptable

7.8.1 Policy SI 13 Sustainable Drainage of the London Plan states that development proposals should aim to achieve greenfield run-off rates and ensure that surface water run-off is managed as close to its source as possible.

7.8.2 Policy 116 of the Local Plan details that all developments should seek to incorporate sustainable Urban Drainage Systems (SUDS) or demonstrate alternative sustainable approaches to the management of surface water as far as possible.

7.8.3 The Councils Drainage Officer has reviewed the submitted details in respect of surface water drainage. It is recommended that further detail of a scheme for the provision of surface water drainage shall be submitted by planning condition with any permission.

7.9 Air Quality - Acceptable

7.9.1 Policy SI 1 Improving Air Quality, outlines in summary that development proposals should not lead to further deterioration of existing poor air quality and shall minimise increased exposure to existing air pollution and make provision to address local problems of air quality in preference to post-design or retro fitted mitigation measures.

7.9.2 Policy 120 of the Local Plan states that developments which are likely to have an impact on air quality or which are located in an area which will expose future occupiers to pollutant concentrations above air quality objective levels will be required to submit an Air Quality Assessment.

7.9.3 The site is located within the Bromley AQMA (2020). Therefore, it is considered prudent for the development to incorporate Ultra Low NOx boilers as necessary. A condition is recommended in this regard with any permission.

7.10 Tress and Landscaping – Acceptable

7.10.1 Policy 73 of the Bromley Local Plan states that proposals for new development will be required to take particular account of existing trees on the site and on adjoining land, which in the interests of visual amenity and/or wildlife habitat, are considered desirable to be retained.

7.10.2 Policy 77 of the Bromley Local Plan states that development proposals will seek to safeguard the quality and character of the local landscape and seek the appropriate restoration and enhancement of the local landscape through the use of planning obligations and conditions.

7.10.3 The Council Tree Officer has previously reviewed the site and advised the trees recorded on the tree survey do not present a constraint to the proposal. An indicative landscaping layout primarily of hard landscaping has been submitted as shown on the proposed ground floor site plan drawing that details the areas given over to external areas for future occupiers. No objections are raised in this regard. A landscaping condition can secure further soft planting at ground level by way of planters for instance to improve bio diversity on this site.

7.11 CIL

7.11.1 The Mayor of London's CIL and the Borough CIL are material considerations. CIL is payable on this application and the applicant has completed the relevant form.

7.12 Other matters

7.12.1 Boundary wall ownership rights are outside the planning remit. The plans indicate the boundary wall is within the application site and the applicant has signed Certificate A accordingly.

7.12.2 A Construction and Environmental Management Plan has been submitted as part of this application. The details have been reviewed and are considered sufficient to manage the short term impacts of the construction process. A compliance condition is recommended.

7.12.3 Access for Green roof maintenance can be carried out from the site area to the front of the site. A recommended planning condition will ensure that the green roof will be maintained in perpetuity.

7.12.4 The pedestrian access to the rear of properties adjoining the site fronting onto Century Way will be unaffected by the resultant finished scheme.

8 CONCLUSION

8.1 Taking into account the above, the proposed development would have a high quality design and would not have an unacceptable impact on the amenity of neighbouring occupiers. It is considered that the site optimisation and unit type of the proposed scheme is acceptable and that the development would not be detrimental to the character and appearance of the area and locality. The standard of the accommodation that will be created will be good. The proposal would not have an adverse impact on the local road network or local parking conditions. The proposal would be constructed in a sustainable manner and would achieve good levels of energy efficiency. It is therefore recommended that planning permission is granted subject to the imposition of suitable conditions.

8.2 On balance the positive impacts of the development are considered of sufficient weight to approve the application with regard to the presumption in favour of sustainable development to increase housing supply.

8.3 Background papers referred to during production of this report comprise all correspondence on the files set out in the Planning History section above, excluding exempt information.

RECOMMENDATION: Application Permitted

Subject to the following conditions:

Standard condition

- 1. Standard time limit of 3 years**
- 2. Standard compliance with approved plans**

Pre-commencement

- 3. Details of sustainable surface water drainage.**

Prior to above ground works

- 4. Details of landscaping for hard and soft areas.**
- 5. Details of materials.**
- 6. Details of refuse storage containment.**
- 7. Details of lighting scheme.**
- 8. Details of cycle parking**
- 9. Details of an acoustic assessment re railway line**

Prior to occupation/use

- 10. Parking arrangements to be installed as approved.**
- 11. Details of electric car charging point.**
- 12. Green roof installation compliance.**

Compliance conditions

- 13. No additional pipes or plumbing.**
- 14. Removal of all permitted development rights.**
- 15. Implementation in accordance with approved slab levels**
- 16. Compliance with Part M of the Building Regulations.**
- 17. Installation of ultra-low NOx boilers.**
- 18. Turntable installation and retention permanently.**
- 19. No access to railway land.**
- 20. Construction and Environmental Management Plan compliance.**
- 21. Fire safety compliance.**

Delegated authority be given to the Assistant Director: Planning & Building Control to make variations to the conditions and to add any other planning condition(s) as considered necessary.

Informatives

- 1. Reminder regarding submission of pre commencement conditions.**
- 2. Contact naming and numbering Officer at the Council.**
- 3. Reminder of CIL payments.**
- 4. Reminder regarding Part M compliance.**
- 5. Reminder regarding Part B compliance.**
- 6. Compliance with the Control of Pollution and Noise from Demolition and Construction Sites Code of Practice 2017**
- 7. Contact Environmental Health re contamination.**
- 8. Contact Network Rail prior to works.**
- 9. Energy efficiency measures.**